



DEVELOPMENT PERMIT NO. DP000979

DDV PROPERTIES (BRUCE AVE) INC

Name of Owner(s) of Land (Permittee)

601 BRUCE AVENUE / 609 BRUCE AVENUE

Civic Addresses

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

**PARCEL D (DD 18543F) OF SECTION 24, RANGE 8, SECTION 1,
NANAIMO DISTRICT, PLAN 630**

PID No. 008-736-782

**LOT 1, SECTION 24, RANGE 8, SECTION 1, NANAIMO DISTRICT, PLAN
33154**

PID No. 000-229-784

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Location Plan
Schedule B Site Plan
Schedule C Building Elevations and Material Finishes
Schedule D Landscape Plan and Details
Schedule E Overall Aerial Image
Schedule F Streetscapes

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.
4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

TERMS OF PERMIT

The City of Nanaimo "ZONING BYLAW 2011 NO. 4500" is varied as follows:

1. *Section 10.5.1 – Siting of Buildings*

Building A

- To reduce the minimum required front yard setback (Shepherd Avenue) from 4.5m to 3.1m.
- To reduce the minimum required flanking side yard setback (Fifth Street) from 6m to 3.9m.

Building B

- To reduce the minimum required flanking side yard setback (Fifth Street) from 6m to 2.1m.
- To reduce the minimum required front yard setback (Bruce Avenue) from 4.5m to 1.8m.

Building C

- To reduce the minimum required front yard setback (Bruce Avenue) from 4.5m to 1.8m.

Building D

- To the minimum required front yard setback (Bruce Avenue) from 4.5m to 3.6m.

CONDITIONS OF PERMIT

1. The subject properties shall be developed generally in accordance with the site plan prepared by Urban Design Group Architects BC, received 2017-MAY-30, as shown on Schedule B.
2. The subject properties shall be developed generally in accordance with the building elevations prepared by Urban Design Group Architects BC, received 2017-MAY-30, as shown on Schedule C.
3. The subject properties shall be developed generally in accordance with the landscape plan and details prepared by M2 Landscape Architecture Arboriculture Ltd., received 2017-MAY-30, as shown on Schedule D.

4. The subject properties shall be consolidated at the owner's expense prior to issuance of a building permit.
5. The proposed public art installation is to be determined through a detailed design review and be provided prior to the issuance of a building permit.
6. The subject properties shall be developed in accordance with the Tree Management Plan prepared by M2 Landscape Architecture Arboriculture Ltd., received 2017-FEB-08 with the following additional conditions pertaining to the retention of the existing oak tree between proposed Buildings A and B:
 - The City of Nanaimo Urban Forestry Coordinator must be notified and the project Arborist present for the removal of the existing fence and the construction of the Tree Protection Fencing;
 - The Tree Protection Fencing must be constructed a minimum of 8.64m away from the tree trunk and 360 degrees around the tree;
 - Fencing must be 1.8m high, constructed out of firmly anchored 2x4 posts with 2x4 top and bottom rails and cross bracing. Hi-Visibility snow fencing must be firmly affixed around the frame;
 - Signage must also be attached around the fencing prohibiting any encroachment within the barrier and stating that the barrier must not be removed without the written authorization of the City of Nanaimo Urban Forestry Coordinator;
 - The fencing must be in place and inspected by the City of Nanaimo Urban Forestry Coordinator prior to construction;
 - A 7.6cm layer of organic mulch is to be reinstated to amend the soil at the base of the tree once the construction activities are complete;
 - Regular deep watering is required as well as an application of slow release fertilizer during the construction process; and
 - If any pruning is required, the scope of pruning is to be determined by the City of Nanaimo Urban Forestry Coordinator and the project Arborist and the work must be supervised by the project Arborist.

AUTHORIZING RESOLUTION PASSED BY COUNCIL
THE 19TH DAY OF JUNE, 2017.

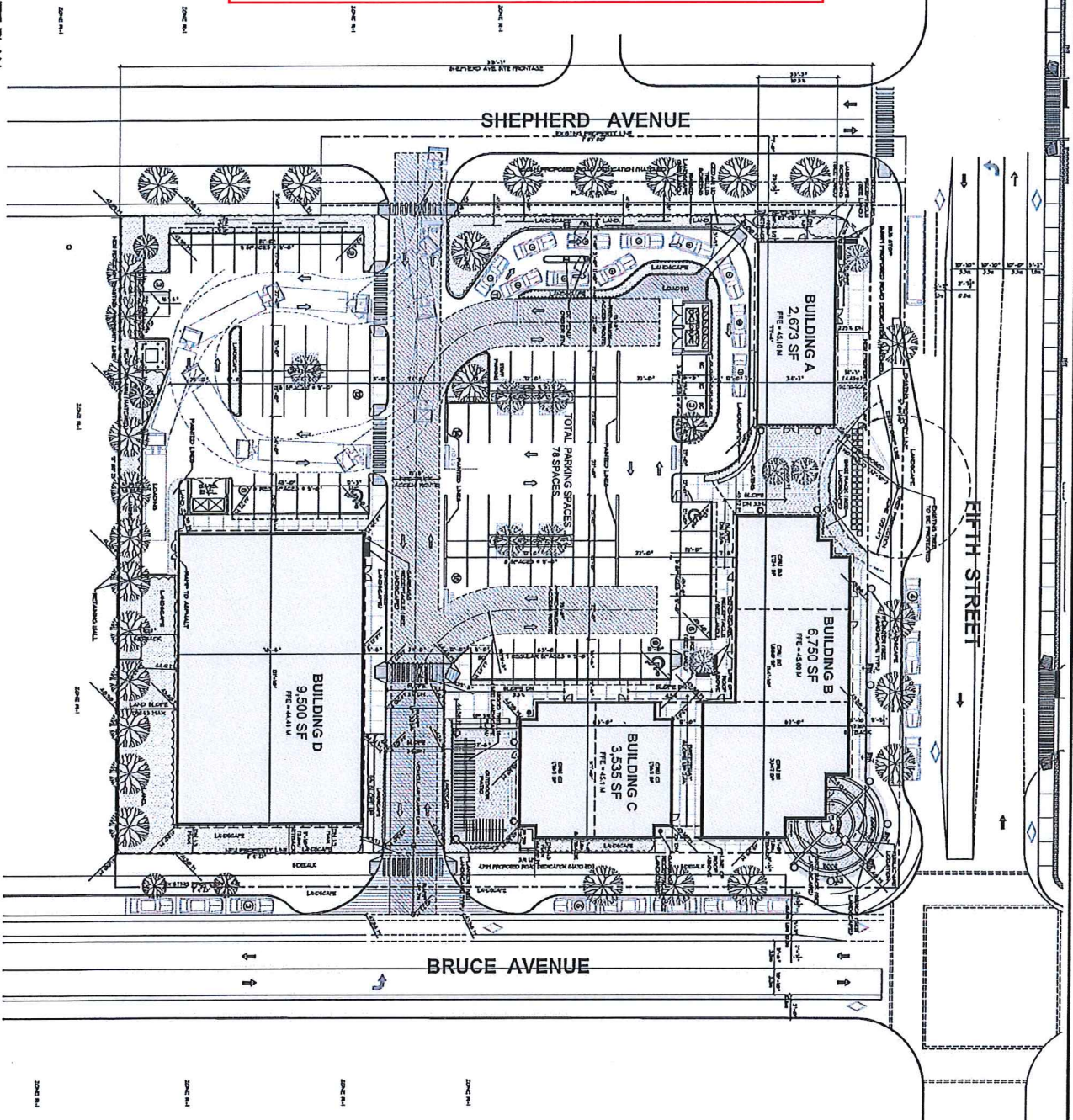

Corporate Officer

2017-JUN-30
Date

GN/ln

Prospero attachment: DP000979

Development Permit DP000979 Schedule B
601 and 609 Bruce Avenue
SITE PLAN



SITE PLAN
DATE: 2017-05-23 10:47 AM
DRAWN BY: J. L. [unreadable]
CHECKED BY: [unreadable]



AERIAL PLAN

SITE INFORMATION

LEGAL ADDRESS: 601 BRUCE AVE. PARCELS 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

GROSS FLOOR AREAS	BUILDING A 2,673 SF	BUILDING B 6,750 SF	BUILDING C 3,535 SF	BUILDING D 9,500 SF	TOTAL GROSS FLOOR AREA 22,458 SF
PARKING REQUIREMENTS	TOTAL PARKING REQUIRED: 26,212 4x4 / 1,026 SF = 81 SPACES				
PARKING SPACES	TOTAL PARKING PROVIDED: 78 SPACES				
PARKING STRENGTH	OFF-STREET PARKING = 78 SPACES ON-STREET PARKING = 10 SPACES TOTAL PARKING SPACES = 88 SPACES				
PARKING RATIO	3.88 SPACES/1,000 SF (OFF-STREET) 4.36 SPACES/1,000 SF (TOTAL)				
PARKING STRENGTH	REGULAR CAR STALL: 12'0" (3.05m) x 12'0" (3.05m) HANDICAP CAR STALL: 12'0" (3.05m) x 12'0" (3.05m) SMALL CAR STALL (MAX. 20%): 8'0" (2.44m) x 4'0" (1.22m) VANPOOLING (MAX. 20%): 12'0" (3.66m) x 16'0" (4.88m) TODDLER SPACES (MAXIMUM 20%): 12'0" (3.66m) x 16'0" (4.88m)				

DETAIL NOTE:
RENDERINGS AND SHADOWS ARE FOR INFORMATION ONLY AND SHALL NOT BE USED FOR CONSTRUCTION. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
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CHECKED BY: [unreadable]

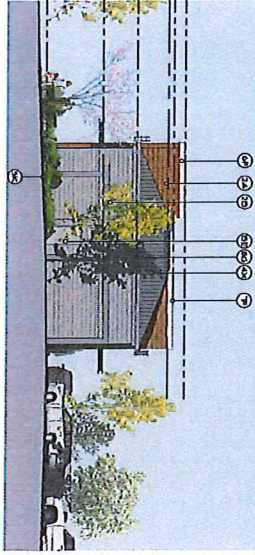
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VILLAGE CENTRE
601 & 609 BRUCE AVENUE, NANAIMO BC
For DDV PROPERTIES (OC) INC.

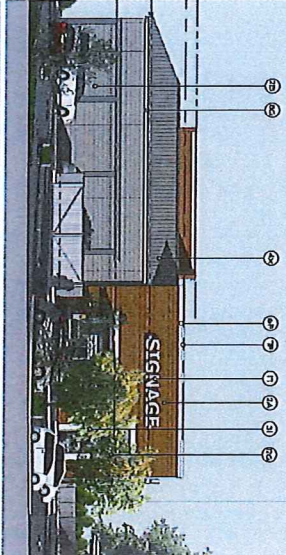
DDV PROPERTIES (OC) INC.
402-26 NALOW ST
NANAIMO BC V9S 4K6
PHONE: (250) 754-1111
FAX: (250) 754-1112
WWW.DDVPROPERTIES.COM
3592
SITE PLAN
A-1-1

**BUILDING ELEVATIONS
and MATERIAL FINISHES**

WEST ELEVATION



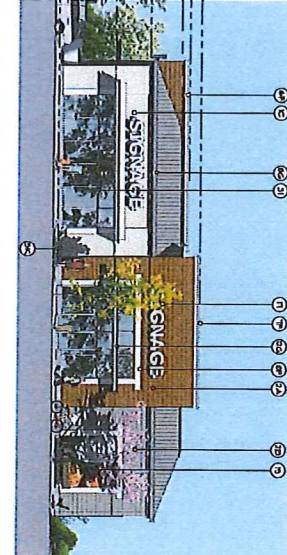
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



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EXTERIOR MATERIALS

1	EPS STUCCO PAINTED
2	ROCK CERAMIC & POLYURETHANE LAMINATED LVP STONE
3	METAL MOUNTED ALUMINUM CLADDING PANELS (CLADDING PANELS)
4	STAINLESS STEEL METAL PANEL ROOFING
5	CONCRETE SLAB
6	EPS INSULATION
7	METAL-PAINTED METAL CLADDING
8	ROCK CERAMIC POLYURETHANE LAMINATED LVP STONE
9	BRONZE ALUMINUM
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COLORS AND FINISHES

A	WHITE STAIN, BRONZE LAMINATED LVP STONE
B	BRONZE LAMINATED LVP STONE
C	BRONZE LAMINATED LVP STONE
D	BRONZE LAMINATED LVP STONE
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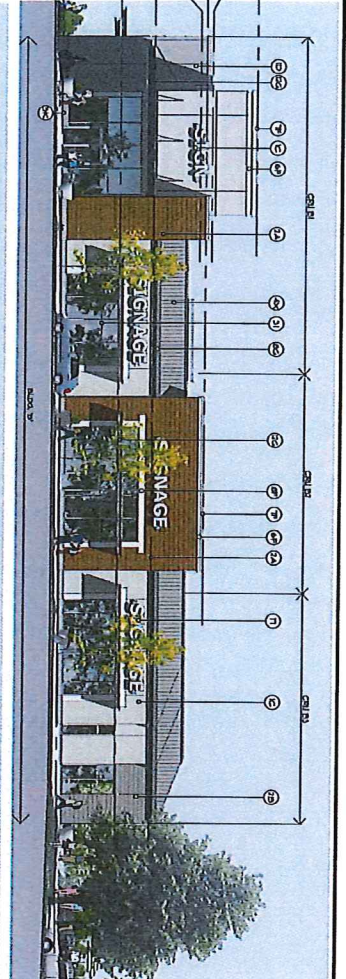
ordirects ltd
ARCHITECTURAL
DRAWINGS
ELEVATIONS
BUILDING A
3852
1-888-811-1111

VILLAGE CENTRE
601 & 609 BRUCE AVENUE, NANAIMO BC
For DDV PROPERTIES (OC) INC.

RECEIVED
3852
1-888-811-1111

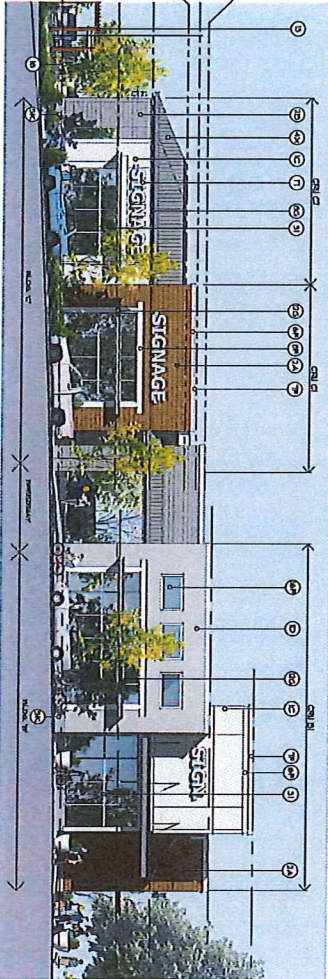
Buildings B and C

NORTH ELEVATION



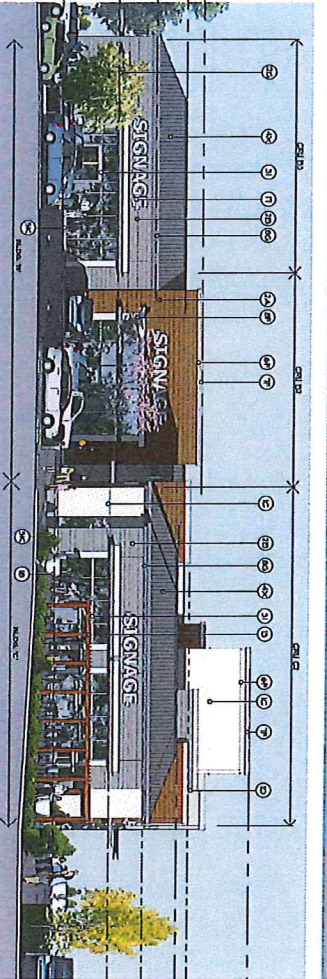
- 1. EL. 3'-0" / 1" TO 1/2" PAINTED FINISH (S1)
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EAST ELEVATION



- 1. EL. 3'-0" / 1" TO 1/2" PAINTED FINISH (S1)
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- 20. EL. 3'-0" / 1" TO 1/2" PAINTED FINISH (S1)

SOUTH ELEVATION



- 1. EL. 3'-0" / 1" TO 1/2" PAINTED FINISH (S1)
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WEST ELEVATION



- 1. EL. 3'-0" / 1" TO 1/2" PAINTED FINISH (S1)
- 2. EL. 3'-0" / 1" TO 1/2" PAINTED FINISH (S1)
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- 20. EL. 3'-0" / 1" TO 1/2" PAINTED FINISH (S1)

PLANNING AND DESIGN PRINTED BY WELIC ON MAY 26, 2017 3:00:13 PM

EXTERIOR MATERIALS

1	EPG BRICK PAINTED
2	FORM CONCRETE & CONCRETE AGGREGATE LIGHT BROWN
3	PRECAST CONCRETE WITH POLY CARBONATE GLASS
4	STAINLESS STEEL PANEL ROOFING
5	CONCRETE SLAB
6	EPG BRICK CONCRETE
7	PRECASTED VERTICAL SLABS
8	FORM CONCRETE FACIAL CONCRETE PAINTED
9	BOULEVARD ALUMINUM
10	CONCRETE LIGHT BROWN SURFACE PAINTED
11	PAINTED STEEL PANEL ROOFING
12	STEEL CHANNEL, CLEAR LAMINATED THERMOPLASTIC GLASS
13	ROOF OF TOWER VERTICAL SLABS
14	VERTICAL SLABS PAINTED
15	ALUMINUM PANEL DOOR PAINTED
16	BRICKWORK CONCRETE
17	BRICKWORK CONCRETE
18	ALUMINUM AND GLASS CURTAIN WALL
19	VERTICAL STEEL SECTION
20	OPEN WALL ON ALUMINUM FRAME

COLORS AND FINISHES

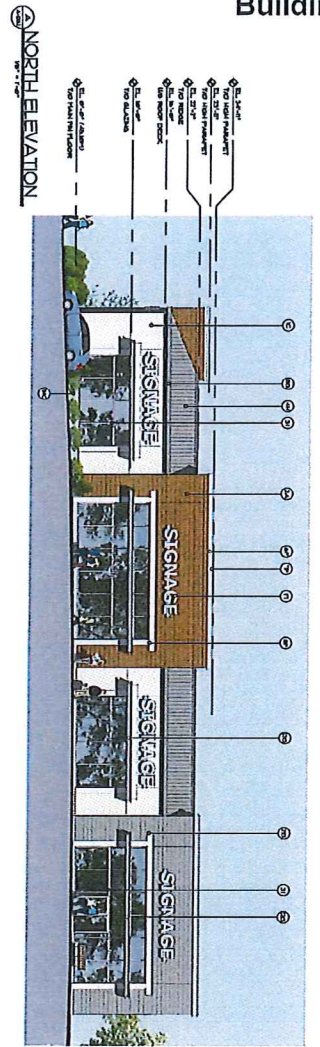
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2	PAINTED BRICK CONCRETE PAINT
3	PAINTED BRICKWORK PAINT
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6	PAINTED BRICKWORK PAINT
7	PAINTED BRICKWORK PAINT
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20	PAINTED BRICKWORK PAINT

RECEIVED
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 30882
 601 & 609 BRUCE AVENUE, NANTUCKET, MA 02549
 TEL: 508-339-0000
 FAX: 508-339-0001
 WWW.JGONLINE.COM
 30882
 ELEVATIONS
 BUILDING B & C
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 30882

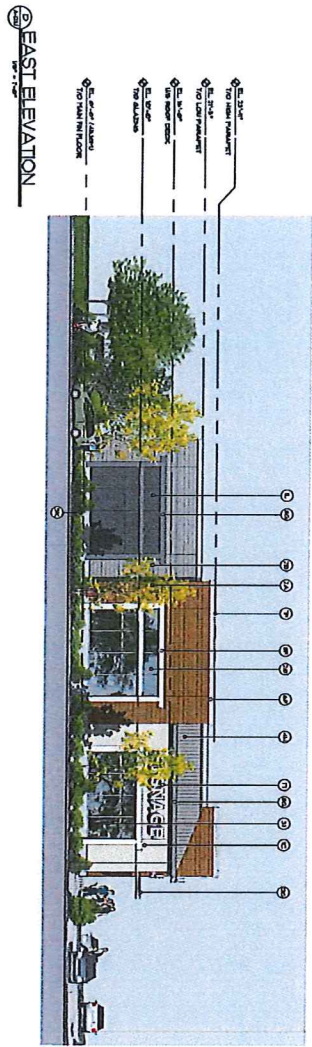
VILLAGE CENTRE
 601 & 609 BRUCE AVENUE, NANTUCKET, MA 02549
 For DDV PROPERTIES (OC) INC.

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 601 & 609 BRUCE AVENUE, NANTUCKET, MA 02549
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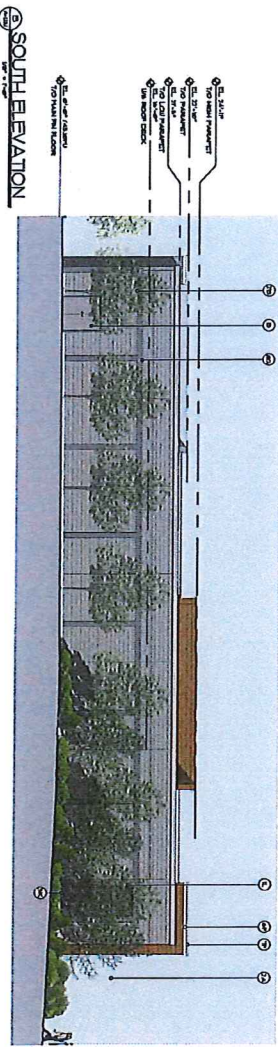
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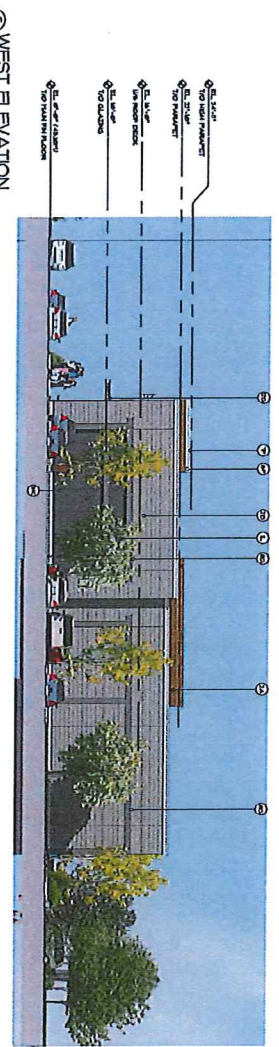
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

PLANS 2017-03-20 10:00 AM PRINTED BY: 10/12/2017 09:26:26 2017 3:00:24 PM

EXTERIOR MATERIALS

1	1/2" BRICK, PAINTED
2	ROSE CROWN #7 SPONGE HORIZONTAL LUMBER
3	1/2" x 4" x 8" CLEAR ALUMINUM CLAD DOUBLE GLAZED THERMALLY BROKEN SPANDREL
4	SPANDREL WITH METAL PANEL, ROOFING
5	CONCRETE SLAB
6	2" x 8" BRICK CORNER
7	1/2" x 4" x 8" CLEAR ALUMINUM CLAD DOUBLE GLAZED THERMALLY BROKEN SPANDREL
8	ROSE CROWN #7 SPONGE HORIZONTAL LUMBER
9	SPONGE HORIZONTAL LUMBER
10	SPONGE HORIZONTAL LUMBER
11	SPONGE HORIZONTAL LUMBER
12	SPONGE HORIZONTAL LUMBER
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18	SPONGE HORIZONTAL LUMBER
19	SPONGE HORIZONTAL LUMBER
20	SPONGE HORIZONTAL LUMBER

COLLARS AND FINISHES

A	1/2" x 4" x 8" CLEAR ALUMINUM CLAD DOUBLE GLAZED THERMALLY BROKEN SPANDREL
B	1/2" x 4" x 8" CLEAR ALUMINUM CLAD DOUBLE GLAZED THERMALLY BROKEN SPANDREL
C	1/2" x 4" x 8" CLEAR ALUMINUM CLAD DOUBLE GLAZED THERMALLY BROKEN SPANDREL
D	1/2" x 4" x 8" CLEAR ALUMINUM CLAD DOUBLE GLAZED THERMALLY BROKEN SPANDREL
E	1/2" x 4" x 8" CLEAR ALUMINUM CLAD DOUBLE GLAZED THERMALLY BROKEN SPANDREL
F	1/2" x 4" x 8" CLEAR ALUMINUM CLAD DOUBLE GLAZED THERMALLY BROKEN SPANDREL
G	1/2" x 4" x 8" CLEAR ALUMINUM CLAD DOUBLE GLAZED THERMALLY BROKEN SPANDREL
H	1/2" x 4" x 8" CLEAR ALUMINUM CLAD DOUBLE GLAZED THERMALLY BROKEN SPANDREL
I	1/2" x 4" x 8" CLEAR ALUMINUM CLAD DOUBLE GLAZED THERMALLY BROKEN SPANDREL
J	1/2" x 4" x 8" CLEAR ALUMINUM CLAD DOUBLE GLAZED THERMALLY BROKEN SPANDREL
K	1/2" x 4" x 8" CLEAR ALUMINUM CLAD DOUBLE GLAZED THERMALLY BROKEN SPANDREL
L	1/2" x 4" x 8" CLEAR ALUMINUM CLAD DOUBLE GLAZED THERMALLY BROKEN SPANDREL

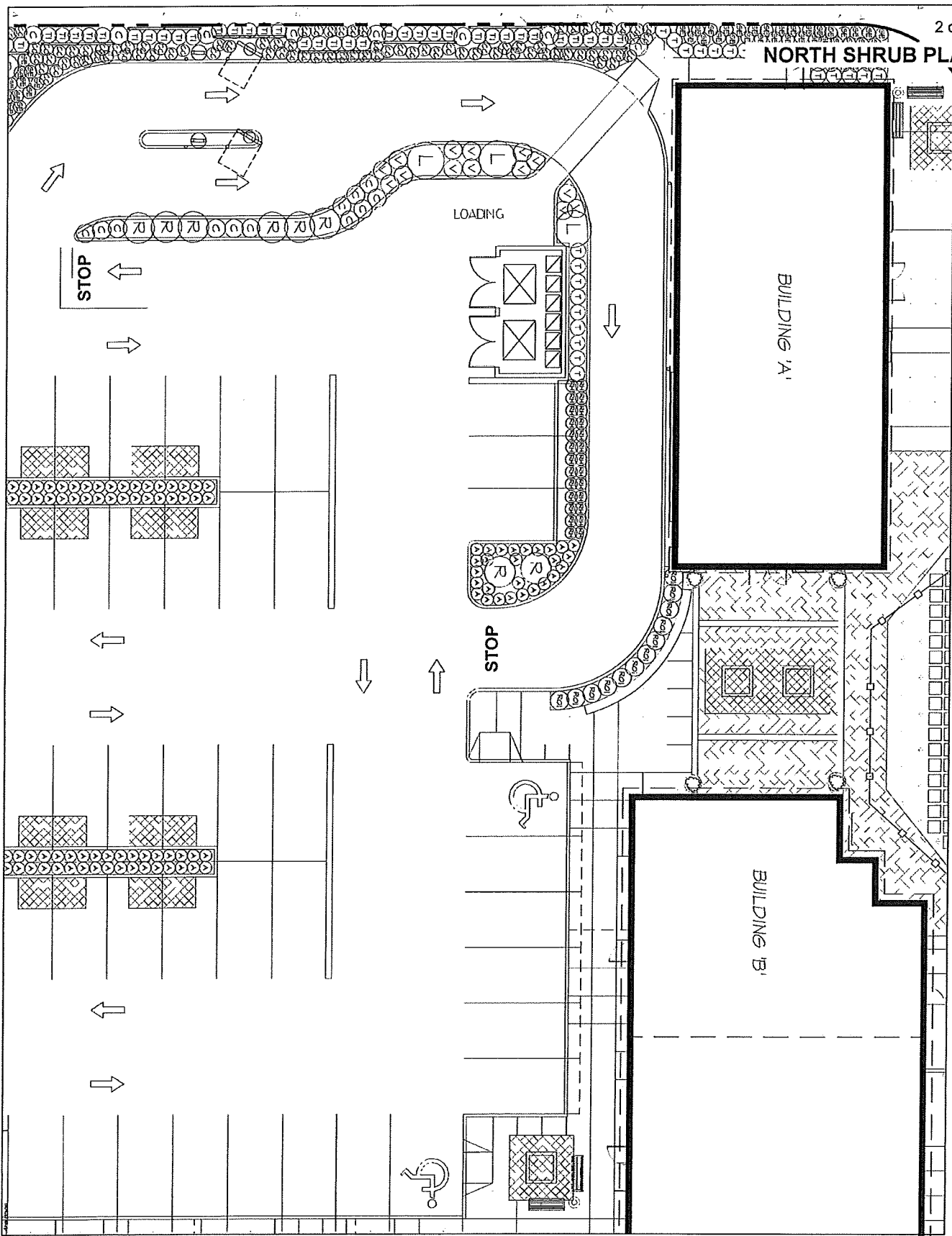
collects ltd
 40-216 HILLOW T
 WINDSOR, ON N9A 7K5
 519-875-8888
 5892

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VILLAGE CENTRE
 601 & 609 BRUCE AVENUE, NANTAWIC, BC
 For DDV PROPERTIES (OC) INC.

1	1/2" BRICK, PAINTED
2	ROSE CROWN #7 SPONGE HORIZONTAL LUMBER
3	1/2" x 4" x 8" CLEAR ALUMINUM CLAD DOUBLE GLAZED THERMALLY BROKEN SPANDREL
4	SPANDREL WITH METAL PANEL, ROOFING
5	CONCRETE SLAB
6	2" x 8" BRICK CORNER
7	1/2" x 4" x 8" CLEAR ALUMINUM CLAD DOUBLE GLAZED THERMALLY BROKEN SPANDREL
8	ROSE CROWN #7 SPONGE HORIZONTAL LUMBER
9	SPONGE HORIZONTAL LUMBER
10	SPONGE HORIZONTAL LUMBER
11	SPONGE HORIZONTAL LUMBER
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18	SPONGE HORIZONTAL LUMBER
19	SPONGE HORIZONTAL LUMBER
20	SPONGE HORIZONTAL LUMBER

NORTH SHRUB PLAN



NO.	DATE	REVISIONS
1	12/12/11	ISSUED FOR TENDERS
2	01/02/12	REVISED PER COMMENTS
3	01/02/12	REVISED PER COMMENTS
4	01/02/12	REVISED PER COMMENTS
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M2
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 4/201 - 28 Lorne Meads
 V/BA 317
 P/06 664 555 004
 F/06 664 555 004
 Email: office@m2.com

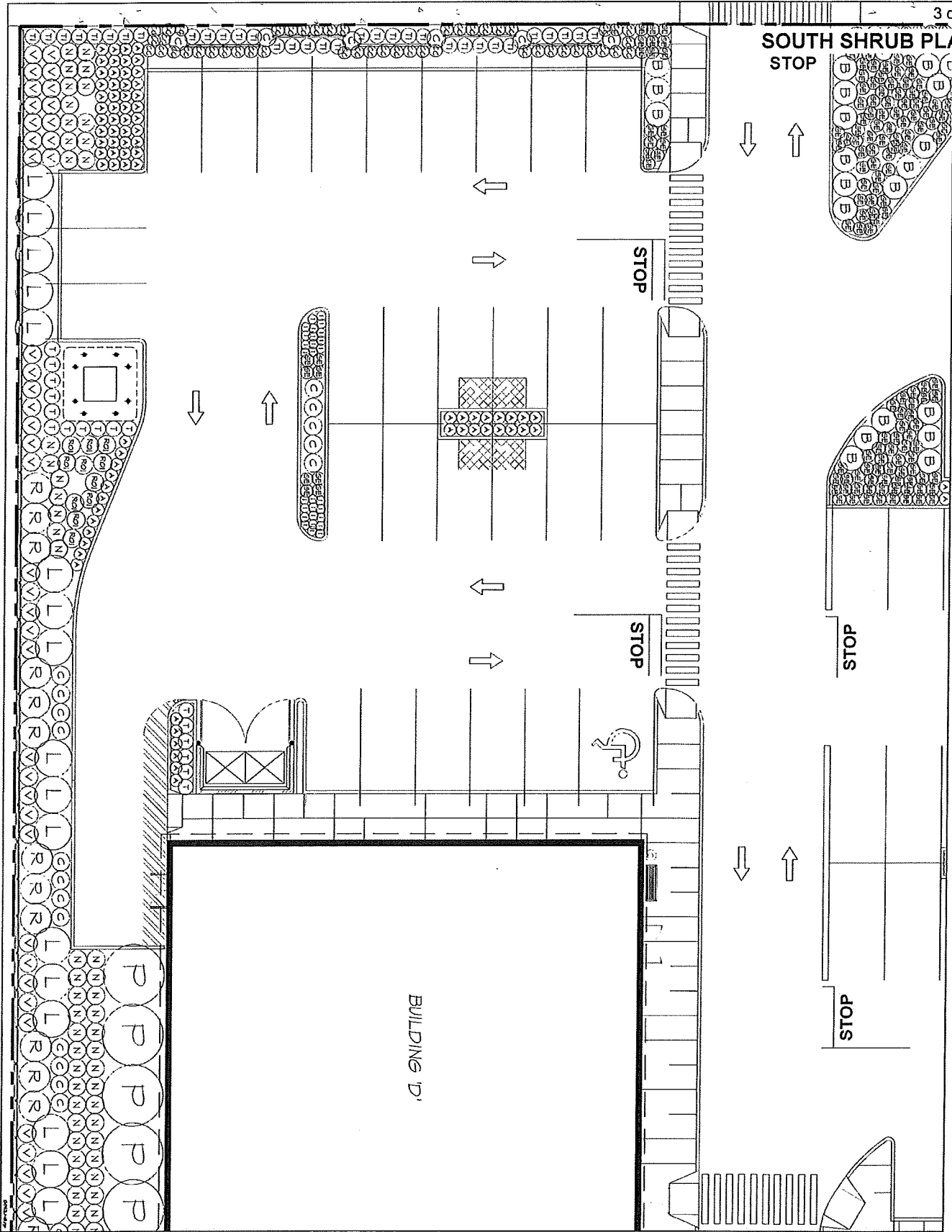
PROJECT
 VILLAGE CENTRE
 607 BRUCE AVENUE
 WINDSOR, ON

CLIENT
 SHUBB
 NORTH

DATE
 01/02/12

SCALE
 1:200

SOUTH SHRUB PLAN



2229 - 26 Lane Ave.
New Westminster, British Columbia
V3V 2G4
Tel: 604.553.1044
Fax: 604.553.1044
Email: office@m2a.com



NO.	DATE	REVISIONS
1	2011.03.01	ISSUED FOR PERMIT
2	2011.03.01	ISSUED FOR PERMIT
3	2011.03.01	ISSUED FOR PERMIT
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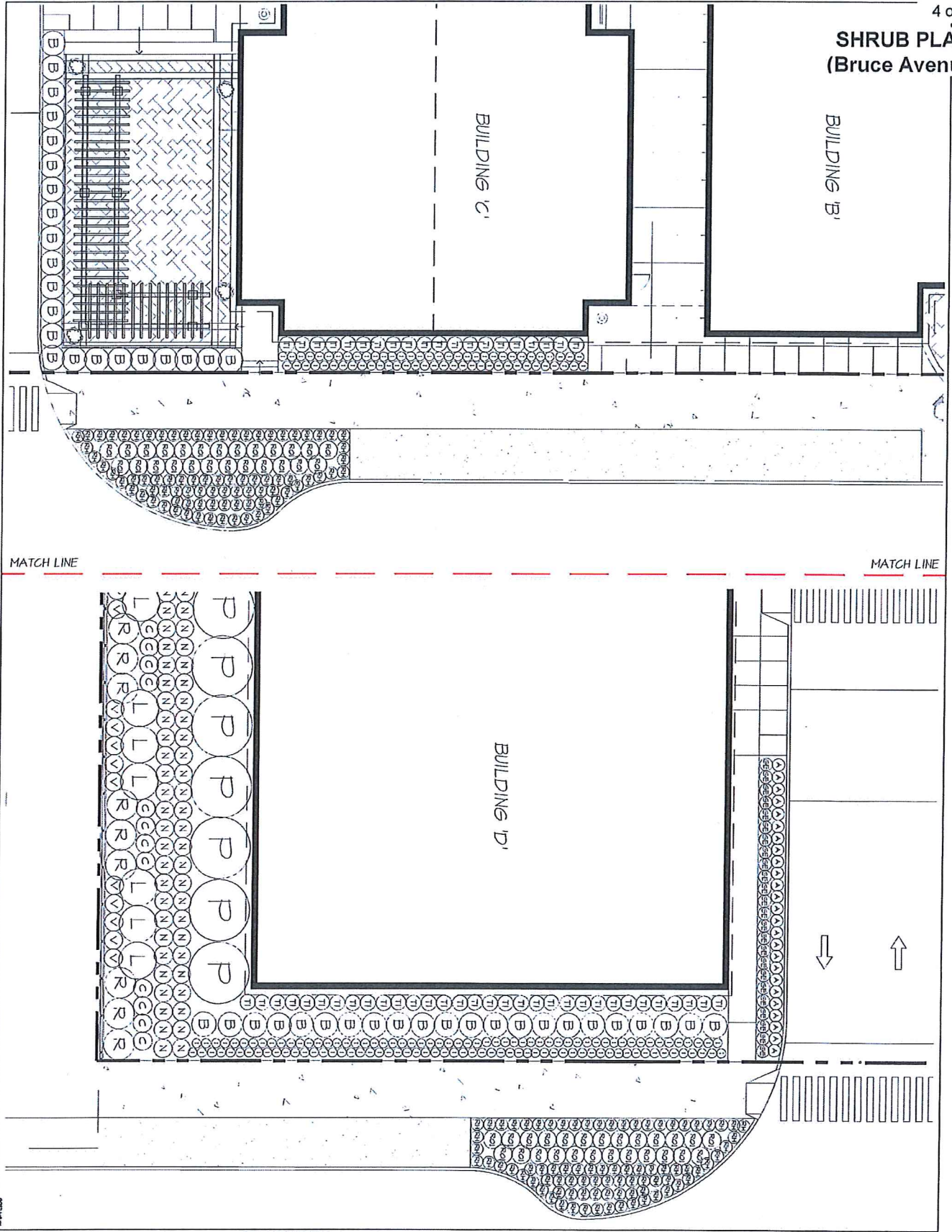
VILLAGE CENTRE
607 BRUCE AVENUE
VANCOUVER, BC

SHRUB PLAN
SOUTH

DATE: 2011.03.01
SCALE: AS SHOWN
PROJECT NO: 1001101
DRAWN BY: JLD
CHECKED BY: JLD
PROJECT MANAGER: JLD

13

SHRUB PLAN (Bruce Avenue)



SHEET TITLE
SHRUB PLAN
BRUCE AVENUE N/S

DATE: 02/23/2016
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1/8" = 1'-0"
 JOB NO. 16-002

RECEIVED
 02/23/2016
VILLAGE CENTRE
 601 BRUCE AVENUE
 SUITE 100
 WYOMING, WY 80401

NO.	DESCRIPTION	DATE	BY
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2	ISSUED FOR CONSTRUCTION	02/23/2016	[Name]
3	ISSUED FOR AS-BUILT	02/23/2016	[Name]
4	ISSUED FOR FINAL REVIEW	02/23/2016	[Name]
5	ISSUED FOR RECORD	02/23/2016	[Name]

M2
 LANDSCAPE ARCHITECTURE

8330 - 261st Avenue
 New Westminster, British Columbia
 TEL: 604.553.0044
 TEL: 604.553.0045
 EMAIL: office@m2as.com

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